

PLANNING COMMISSION STAFF REPORT

Central Park Condominiums conditional use
(410-07-40) and preliminary condominium (480-
08-04) at 1357 – 1381 South Main Street

March 26, 2008



Planning and Zoning
Division
Department of Community
Development

Applicant: Structure Building
Company

Staff: Ray McCandless
535-7282 or
ray.mccandless@slcgov.com

Tax ID: 16-18-101-
001,002,003 & 004

Current Zone: Corridor
Commercial CC and South State
Street Corridor Overlay SSSC

Master Plan Designation:
Medium Density
Residential/Mixed Use (10-50
dwelling units per acre)

Council District: District 5,
Jill Remington Love

Acreage: 1.16

Current Use: Commercial

**Applicable Land Use
Regulations:**

- 21A.26.050 Corridor
Commercial District
- 21A.34.090 South State
Street Corridor Overlay
District
- 21.54 Conditional Uses
- 21A.56 Condominiums

Attachments:

- A. Site Plans and Building
Elevations
- B. Department Comments
- C. Applicant Letter
- D. Site Photographs

REQUEST

Petitions 410-07-40 and 480-08-04, Central Park Condominiums Conditional Use and Preliminary Condominium—a request by Structure Building Company / Lloyd Platt Architects for approval of a **conditional use for extra building height and preliminary condominium approval** of an 81 unit residential condominium located at approximately 1357 to 1381 South Main Street. The property is located in the Corridor Commercial (CC) Zoning District and is in the South State Street Corridor (SSSC) Overlay District. The CC Zoning district height limit is 30 feet, but allows for additional building height up to 45 feet to accommodate an additional floor if approved by the Planning Commission as a conditional use.

PUBLIC NOTICE

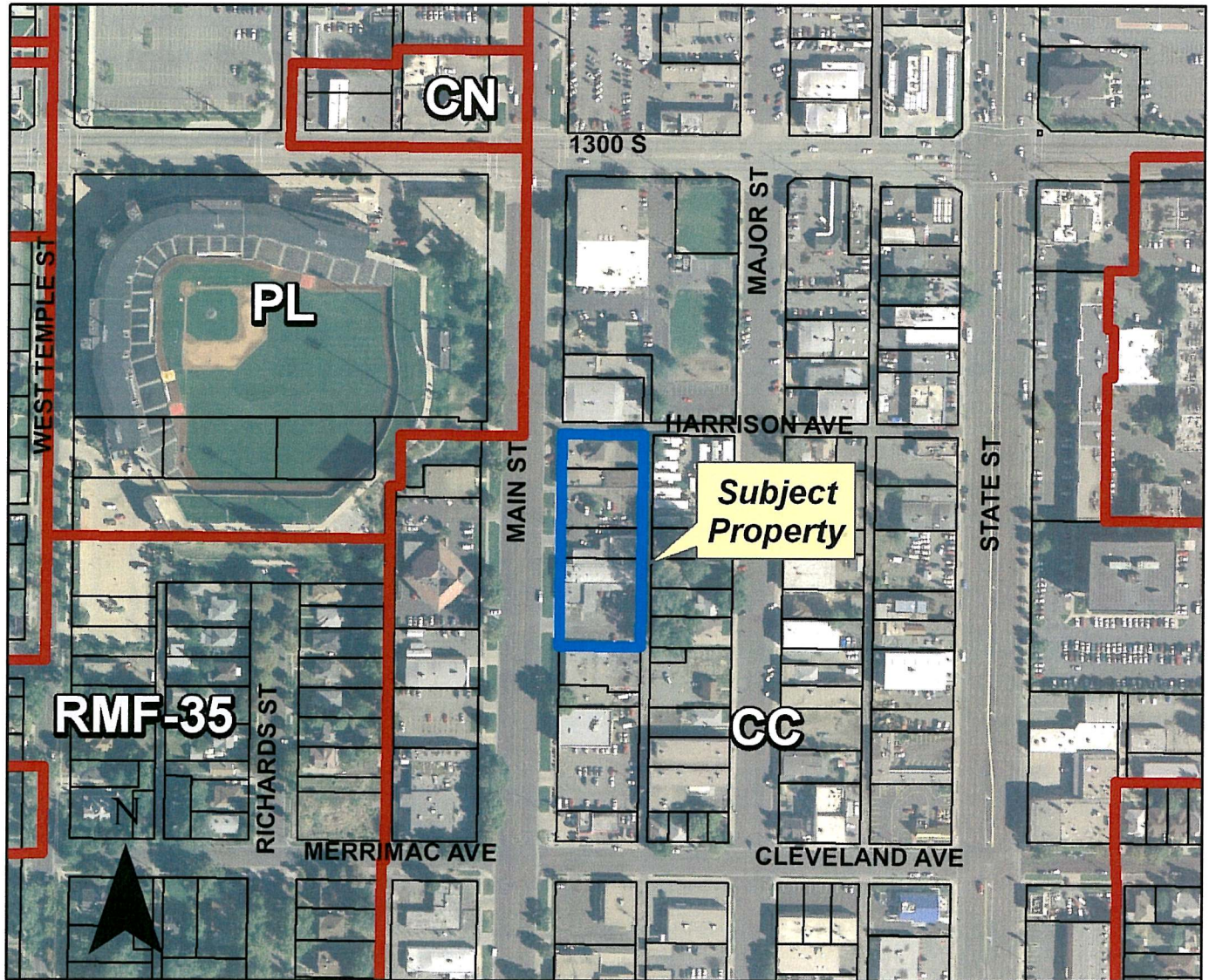
A public notice informing property owners of the March 26, 2008 Planning Commission meeting was mailed to property owners within 450 feet of subject property on March 11, 2008. The property was also posted on the same day with a sign that indicated a land use application had been submitted to the city and informed the public of the date and time of the meeting which meets the notification requirements of the Zoning Ordinance. The notice was also sent to all those on the Planning Division's List Serve and posted on the division's web site.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission approve petitions 410-07-40 for additional building height to include an additional story as proposed on the attached drawings and petition 480-08-04 for preliminary condominium approval based on the analysis in this staff report, with the following conditions:

- 1) Compliance with the departmental comments and all applicable codes and ordinances as outlined in this staff report.
- 2) The final condominium plat, which creates the lot containing the condominium project, shall be recorded with the Salt Lake County Recorder. A final condominium plat and associated covenants must also be recorded.
- 3) The parking structure and associated access ramps must be approved by the Salt Lake City Transportation Division.
- 4) Access to the overhead door and employees door on the exterior north side of the building to the south be maintained and not blocked by trash dumpsters, etc.
- 5) Full compliance with the Utah Condominium Act of 1975 and the Condominium Approval Procedure regulations in the Salt Lake City Zoning Ordinance (Section 21A.56).
- 6) No condominium shall have final approval, or shall said units be sold, until the plat has been recorded with the Salt Lake County Recorder.
- 7) Planning Commission approval of the 25% glass on the first floor since all uses on the first floor level are residential.

VICINITY MAP



**Subject Property 1357 -1381 South Main Street
Zoned Corridor Commercial CC and South State Street Corridor Overlay SSSC**

COMMENTS

Planning Commission Subcommittee Meetings

This item was reviewed by the Salt Lake City Planning Commission Planned Development Subcommittee on December 12, 2007 and February 11, 2008. On December 12, 2007, preliminary plans were presented showing a 4-story building which is not allowed by the zoning ordinance. The applicants were asked to redesign the building to comply with ordinance building height requirements and bring back revised drawings to a later subcommittee meeting. The revised plans were submitted and reviewed again by the Planning Commission Subcommittee on February 11, 2008.

At that meeting, the Planning Commissioners expressed interest in seeing direct pedestrian access from the main level units to the street and asked if the stairs could encroach into the public way. In reviewing the Zoning Ordinance stairs (or landings) are prohibited from encroaching any closer than 4 feet from the front property line (Table 21A.36.020B). A variance from the Board of Adjustment to allow the stairs to encroach into the public way would not be likely since this is new construction and the applicant would have difficulty arguing that there is a hardship due to the land that is not related to economics.

The applicants also cited other reasons for not being able to accommodate stairs to the lower units in a letter dated March 4, 2008. According to the applicant, individual entrances to the units facing the street on the main level was not possible as required parking stalls would be eliminated on the north and west sides of the building. The applicant has indicated that due to the high ground water in the area, the parking garage must be elevated and in order for the stairs to be set behind the property line, space inside the units or interior courtyard would need to be reduced (see attached letter dated March 4, 2008). The applicants have revised the plans to show an added third access into the building from Main Street.

The Planning Commission also recommended that the building be shifted to the South to provide some meaningful landscaping along Harrison Street. The revised site plans show an approximate nine foot setback from the north property line.

Public Comments

Since the project is located in the People's Freeway Community Council and within 600 feet of the adjoining Liberty Wells Community Council, an Open House was held on February 21, 2008 to obtain public input about the project. The adjoining property owners within 450 feet of the subject property were also notified of the Open House. The comments received include the following (the Planning Division's response to comments are italicized):

- A property owner of the building to the south indicated there is an overhead door and exterior door on the northeast corner of his building facing the subject property that is accessed through an existing parking lot on the subject property. The owners asked that access to these doors be allowed to remain.

The applicants had an ALTA survey done which shows no access easement on their property for the overhead doors. Although there is no recorded easement, the applicants should be required not to obstruct these doors with trash dumpsters etc. as a condition of approval.

- The property owners of the building to the north were concerned with visitor parking generated by the development, ponding of water in Harrison Street and would like a crosswalk added between the proposed development and the Franklin Covey ball field.

Parking – The building meets the parking requirement for the proposed use. No additional parking is required, however, there is on-street parking available on Main Street for visitors.

Water ponding – This is an off-site issue that will need to be addressed by the Salt Lake City Public Utilities Department and Engineering Division independent of consideration of the proposed development.

Crosswalk – This is also an off-site issue that will need to be separately addressed by the Salt Lake City Transportation Division. There is crosswalk approximately ½ block to the north at the 1300 South and Main Street intersection.

City Department Comments

The proposal was routed to Building Services, Engineering, Transportation, Public Utilities, Fire and Police Departments / Divisions. The Police and Fire Departments did not return any comments. The other departments returned comments and they have been attached as Attachment B.

Engineering Division: Randy Drummond

Snow was covering the sidewalk when the site was initially inspected and will need to be reinspected to determine if any improvements to curb, gutter and sidewalk need to be made. Driveway cross-sections will need to be submitted to demonstrate that driveway will meet engineering standards. A final condominium plat is also required.

Transportation Division: Barry Walsh

The applicants are currently working with the Transportation Division to address their issues that are noted in their departmental comments. The issues do not appear to be significant. However, approval should be conditioned upon meeting all Transportation Division requirements. Final review is subject to full Civil drawings to include public way and Architectural plan submittals.

Building Services and Licensing Division: Alan Hardman

One of the issues raised by the Building Services and Licensing Division in that structures located in the South State Street Corridor overlay are exempted from the front yard setback requirement only meaning there is no minimum setback along Harrison Avenue, the front yard. Since Main Street would be the corner side yard, a 15 foot minimum building setback from property line (21A.34.090.D.1). *The purpose of the SSSC Overlay District is to “Reinforce the historical land development patterns along South State Street between 900 South and 2100 South” (the SSSC district extends to Main Street). The historical development pattern is that buildings are constructed to the property line. The Zoning Ordinance supports this as the SSSC Overlay District exempts buildings from meeting the front yard setback requirement. This is supported by the fact that the zoning district also establishes a maximum setback of 25 feet for 35% of the building façade unless otherwise authorized as a conditional building and site design review. The 15 foot side yard is contrary to the intent of the SSSC overlay which prevails as it is more restrictive. Staff views the front yard exemption as applying to both street frontages. This was discussed at the Planning Commission Subcommittee meetings on December 12, 2007 and February 11, 2008.*

Public Utilities Department – Jason Brown

The Public Utilities Department has reviewed the preliminary site plans for the Central Park Condominiums and does not have any concerns with the proposed development provided that the items listed in their departmental review letter are addressed.

The Departments and Divisions that returned comments did not raise major issues that cannot be addressed as part of the building permit and condominium approval process. The comments generally discussed adopted standards, policies, regulations and applicable ordinances. The requirements listed by the City Departments and Divisions must be met prior to issuance of a building permit.

Staff Analysis and Findings

Project History

The subject property has historically been used for commercial businesses. The existing buildings on the property will be demolished to accommodate the proposed new building.

Standards

The property is located in the Corridor Commercial CC Zoning District (Section 21A.26.050, Salt Lake City Zoning Ordinance) and the South State Street Corridor SSSC Overlay District. (Section 21A.34.090 of the Salt Lake City Zoning Ordinance). Zoning Ordinance section 21A.26.050.F allows building heights to reach 45 feet provided that the additional height is support by increased landscaping equal to 10% of the additional floor area of the building. The Planning Commission must also find that the increased height will result in improved site layout and amenities.

NOTE* The conditional use proposal for additional building height is not subject to the recently adopted conditional use standards (Ordinance No. 2 of 2008) as the application was received prior to the effective date of the ordinance (January 15, 2008). This site will be evaluated on the preceding standards.

Standards for Conditional Use

A. The proposed development is one of the conditional uses specifically listed in this title (Zoning Ordinance);

Analysis: Zoning Ordinance 21A.26.050 E.1. authorizes the Planning Commission to approve an additional story to a building in the Corridor Commercial Zoning District subject to the applicant providing additional landscaping and amenities.

Finding: The proposed development is one of the conditional uses specifically listed in this title.

B. The proposed development is in harmony with the general purposes and intent of this title (Zoning Ordinance) and is compatible with and implements the planning goals and objectives of the city, including applicable city master plans;

Analysis: The subject property is located in the area covered by the Central Community Master Plan which was adopted on November 1, 2005. The Central Community Master Plan Future Land Use Map identifies the property as Medium Residential / Mixed Use with a residential density of 10 – 50 dwelling units per acre. The Corridor Commercial Zoning District allows a mixture of uses.

According to the Master Plan, “Medium-density mixed use areas are neighborhoods that provide mixed uses, stand alone commercial and stand alone residential land uses.” The proposed development is a stand

alone residential land use. The Master Plan supports higher density residential land uses near light rail stations. There is a light rail station at 1300 South 200 West, approximately two blocks from the proposed development.

The Pedestrian mobility and accessibility section of the Central Community Master Plan does not mention specific heights, but states that “Compatible development includes land uses and structures that are designed and located in a manner consistent with the development patterns, building masses and character of the area in which they are located”. The subject property is zoned Commercial Corridor which allows a maximum building height of 30 feet or two stories. An additional floor (up to 45 feet high) may be added upon approval by the Planning Commission. As shown on the Vicinity Map, all adjoining properties (exclusive of the Franklin Covey ball field which is zoned PL Public Lands) are also zoned CC meaning that it is possible that other structures built on that block and west of Main Street could be as tall as 45 feet with conditional use approval.

The property is located in the People’s Freeway neighborhood planning area which is generally located between 900 South and 2100 South from Interstate-15 to State Street. According to the Master Plan, “Current zoning encourages transitioning from older single-family housing to transit-oriented development including higher density residential than currently exists.”

Multi-family residential development is a permitted use in the Corridor Commercial CC Zoning District. As the Central Community Master Plan encourages mixed use development, including stand alone residential and commercial land uses, the proposed use is consistent with both the Zoning and Master Plan.

The Salt Lake City Community Housing Plan (April 2000) supports transit oriented development and design. One of the City Council Policy Statements is that the City Council supports “Housing densities and mixed uses that support the use of alternative and public transportation, depending on the characteristics of each area” (page 21).

The purpose of the South State Street Corridor Overlay is to “acknowledge and reinforce the historical land development patterns along South State Street between 900 South and 1200 South. The development pattern in this area is predominantly commercial buildings along the major street frontages with buildings located near the front property line. The proposed development is consistent with this pattern.

Finding: The proposed development is in harmony with the general purposes and intent of the Zoning Ordinance and is compatible with and implements the planning goals and objectives of the city, including applicable city master plans.

C. Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not materially degrade the service level on the adjacent streets;

Analysis: The Salt Lake City Transportation Division has indicated that the drawings submitted are still in the conceptual stage for full review comment. The parking structure needs to be submitted for review for column and sheer wall issues as well as fully dimensioned parking layout per city standards. These items need to be addressed as a condition of approval. The Transportation Division verbally indicated on March 13, 2008 that that Main Street, an arterial city street, can easily accommodate traffic generated by the proposed use.

Finding: The streets and access to the proposed development are suitable and adequate to carry anticipated traffic and will not materially degrade the service level on the adjacent streets. The parking structure and

associated access ramps will need to be approved by the Salt Lake City Transportation Division prior to the issuance of a building permit.

D. The internal circulation system of the proposed development is properly designed;

Analysis: The proposal includes one level of structured parking. The design and construction of the parking is subject to City approval. The Transportation Division has indicated that they are working with the project engineer and have resolved the ramp slope issues but need additional information on the parking structure itself. Approval of the parking structure and ramps must be approved by the Transportation Division as a condition of approval.

Finding: The internal circulation system must be properly designed and must meet all applicable standards.

E. Existing or proposed utility services are adequate for the proposed development and are designed in a manner that will not have an adverse impact on adjacent land uses or resources;

Analysis: The Public Utilities Department has reviewed the plans and has no objections concerning the proposed development provided that the issues listed on the attached departmental comment sheet are met. The project is located within a built area where infrastructure exists.

Finding: Utility services are adequate to service the proposed project subject to approval from Salt Lake City Public Utilities provided the items listed on the departmental comment sheet are addressed. Approval from the Public Utilities Division is required prior to issuance of a building permit.

F. Appropriate buffering is provided to protect adjacent land uses from light, noise and visual impacts;

Analysis: The proposed project would occupy virtually the entire parcel. In the CC zoning district, no specific buffering is required. The proposal does not include surface parking, so no parking lot buffering is required. All exterior lighting should be designed so that it does not produce glare into adjacent properties. To the east of the proposed site are several non-conforming single family dwellings. The homes are located east of an alley and are over 40 feet from the east property line providing sufficient buffering from the proposed use. In addition, there are mature trees on the east side of the alley which will help to screen the new building. The additional building height also requires additional landscaping which also will provide buffering for adjoining uses.

Finding: Appropriate buffering is provided to protect adjacent land use from light, noise and visual impacts provided all exterior lights are designed so that they do not produce glare into adjoining properties.

G. Architecture and building materials are consistent with the development and compatible with the adjacent neighborhood;

Analysis: The proposed project is located in a neighborhood that has a variety of building materials and architecture. The block includes a mix of old and new structures which are predominately commercial buildings. The design of the building is a modern design that uses a mix of stucco, glass and metal as the primary building materials. Similar materials are found in the neighborhood and on adjacent buildings. The proposed structure includes three-dimensional fenestration (recessed windows, balconies, curved rooflines, etc.) on each side of the building. Many of the buildings in the area are one and two story structures. However, this does not prevent other adjoining property owners from applying for additional building height through the conditional use process. Although most of the buildings in the area are one and two story

structures, the Franklin Covey ball field across main street is a substantial structure that is much taller than the proposed use. The proposed building will bring more housing near existing transit corridors and will be walkable as no building setback is required.

Finding: The architecture and building materials are consistent with the development and compatible with the adjacent neighborhood.

H. Landscaping is appropriate for the scale of the development;

Analysis: Section 21A.26.050.F.2. Landscaping of the Zoning Ordinance states that “If an additional floor is approved, increased landscaping shall be provided over and above that which is normally required for landscape yards, landscape buffer yards, and parking lot perimeter and interior landscaping. The amount of increased landscaping shall be equal to ten percent (10%) of the area of the additional floor.” Since the parking is underground and there are no adjoining properties zoned for residential uses, no perimeter buffer yards or perimeter or interior landscaping is required. The yard on the south side of the building is required to be landscaped as it is a required yard area. The total floor area of the third level is 33,175 feet. The additional landscaping is 3,318, meeting the 10% requirement.

Finding: The landscaping is appropriate for the scale of the development as the amount of increased landscaping equals 10% of the required floor area.

I. The proposed development preserves historical, architectural and environmental features of the property;

Analysis: The existing structure is not on the City’s Register of Cultural Resources nor on the National Register of Historic Places. The property is not located within a local historic district. The existing buildings will be demolished.

Finding: The proposed development does not diminish historical or architecturally significant structures. There are no known environmental features on the property that are required to be preserved.

J. Operating and delivery hours are compatible with adjacent land uses;

Analysis: The proposed use for the structure is primarily residential and is not likely to have operating or delivery hours that would conflict with the adjacent land uses which are mainly commercial. The existing, adjacent land uses consist of office, retail, commercial and residential. The Franklin Covey baseball field is west of this property.

Finding: Operating and delivery hours are compatible with the adjacent land uses.

K. The proposed conditional use or, in the case of a planned development, the permitted and conditional uses contained therein, are compatible with the neighborhood surrounding the proposed development and will not have a material net cumulative adverse impact on the neighborhood or the city as a whole;

Analysis: The block where the proposed development is located includes a mix of uses, including residential, office, commercial and institutional. The proposed development would include residential uses which are compatible with other uses in the area. The proposed conditional use (additional building height) is compatible with the adjacent properties as indicated in other sections of this report.

Finding: The proposed conditional use is compatible with the surrounding neighborhood and the proposed development will not have a material net adverse impact on the neighborhood or the city as a whole.

L. The proposed development complies with all other applicable codes and ordinances.

Analysis: According to section 21A.26.050.F.1. Landscaping: of the Zoning Ordinance, a modification to the height regulations in this subsection F may be granted as a conditional use in conformance with the provision of chapter 21A.54 Conditional Uses of the Zoning Ordinance. In evaluating an application submitted pursuant to this section, the Planning Commission must find that the increased height will result in improved site layout and amenities.

The site layout is not particularly unique as the building will occupy most of the property. However, there are a number of on-site amenities that justify the proposed additional building height. The additional amenities include:

1. Underground Parking: Although underground parking is not required, it will be provided for the residents.
2. Interior Amenities: Inside the building on the main floor will be a hot tub area, gym, “commons room” a children’s and dog play area. On the second floor will be two “roof gardens” as shown in the accompanying preliminary floor plan drawings. The proposed interior amenities will improve the quality of life for occupants of the building.

Section 21A.34.090F.1. of the Zoning Ordinance requires that the size of windows on the front façade shall not have less than 40% glass surfaces. The 40% glass requirement may be reduced to 25% by the Planning Director where the ground level of the building is occupied by residential uses. In this case, the ground floor is occupied entirely by residential uses. The applicant has provided calculations that demonstrate that the percent of glass on the main floor on both the Main Street and Harrison Avenue elevations is 25% of the building façade.

Finding: Proposed additional on-site amenities justify the proposed additional building height. The proposed development complies with all other applicable codes and ordinances. The Planning Commission will need to approve the modification of the 40% glass requirement as there are residential uses on the main floor.

Standards for constructing new condominiums are found in Section 21A.56.050 of the Zoning Ordinance and are as follows:

- A. Zoning Administrator Duties and Responsibility: *The zoning administrator shall perform a zoning compliance review and report the findings to the building official and the planning official. The review shall document the site plan compliance under the zoning ordinance.*

Analysis: The building and site plan as proposed are substantially in compliance with the requirements and allowances of the Corridor Commercial Zoning District and South State Street Corridor Overlay District. All requirements of the Zoning Ordinance must be complied with in the issuance of a building permit.

Finding: The project complies with the zoning ordinance.

B. *Building Official Duties and Responsibility:* *The building official shall obtain the zoning compliance review from the zoning administrator. The building official shall review plans for new construction to determine if such plans conform to applicable building codes.*

Analysis: All requirements stated in the Building Official's review must be complied with prior to the issuance of a building permit.

Finding: The building must comply with applicable building codes prior to the issuance of a building permit.

C. *Planning Official Duties And Responsibility:* *The planning official shall review the application, the zoning compliance review and related documents to determine compliance with requirements of Utah Condominium Ownership Act of 1975 and applicable provisions of this part.*

Analysis: Planning Staff has reviewed the proposed preliminary condominium plat and finds that the preliminary plat complies with the Utah Condominium Ownership Act of 1975. The final plat and declaration of covenants must comply with all of the requirements of the Utah Condominium Ownership Act of 1975 as well as all City Department requirements stated in this Staff Report.

Finding: The preliminary plat is substantially compliant with the Utah Condominium Ownership Act of 1975. The final plat and declaration of covenants must comply with all of the requirements of the Utah Condominium Ownership Act of 1975 as well as all City Department requirements stated in this Staff Report.

Section 20.08.210 of the Salt Lake City Code defines condominiums as subdivisions. Section 20.31.090 Standards for Approval Of Amendment Petition requires that the following standards shall be met as the proposed condominium will amend an existing subdivision plat and is considered a subdivision amendment:

An amendment petition shall be approved only if it meets all of the following requirements:

A. The amendment will be in the best interests of the City;

Analysis: The proposed condominium will replace several commercial buildings that are unkempt or in disrepair. The proposed condominium will help to revitalize an area that is transitioning toward mixed use development which is supported by the master plan.

Findings: The amendment will be in the best interests of the City.

B. All lots comply with all applicable zoning standards;

Analysis: The proposed development complies with all applicable zoning standards as discussed in Conditional Use Section L of this report.

Findings: The proposed condominium complies with all applicable zoning standards.

C. All necessary and required dedications are made;

Analysis: The proposal has been reviewed by the Engineering, Transportation, Permits, and Public Utilities department / divisions. The reviews did not indicate that any dedications of land are required.

Finding: No dedication of land is required as part of this proposal.

D. Provisions for the construction of any required public improvements are included;

Analysis: The comments from the applicable City Departments and the analysis in this report indicate that the proposed conversion is consistent with applicable City Codes. The submitted Department comments are required to be fulfilled prior to final recording of the plat. The comments include which public improvements are required to be made.

Findings: All required public improvements must be installed prior to recording the final plat.

E. The amendment complies with all applicable laws and regulations; and

Analysis: This is addressed in Section L of the Conditional Use standards in this report.

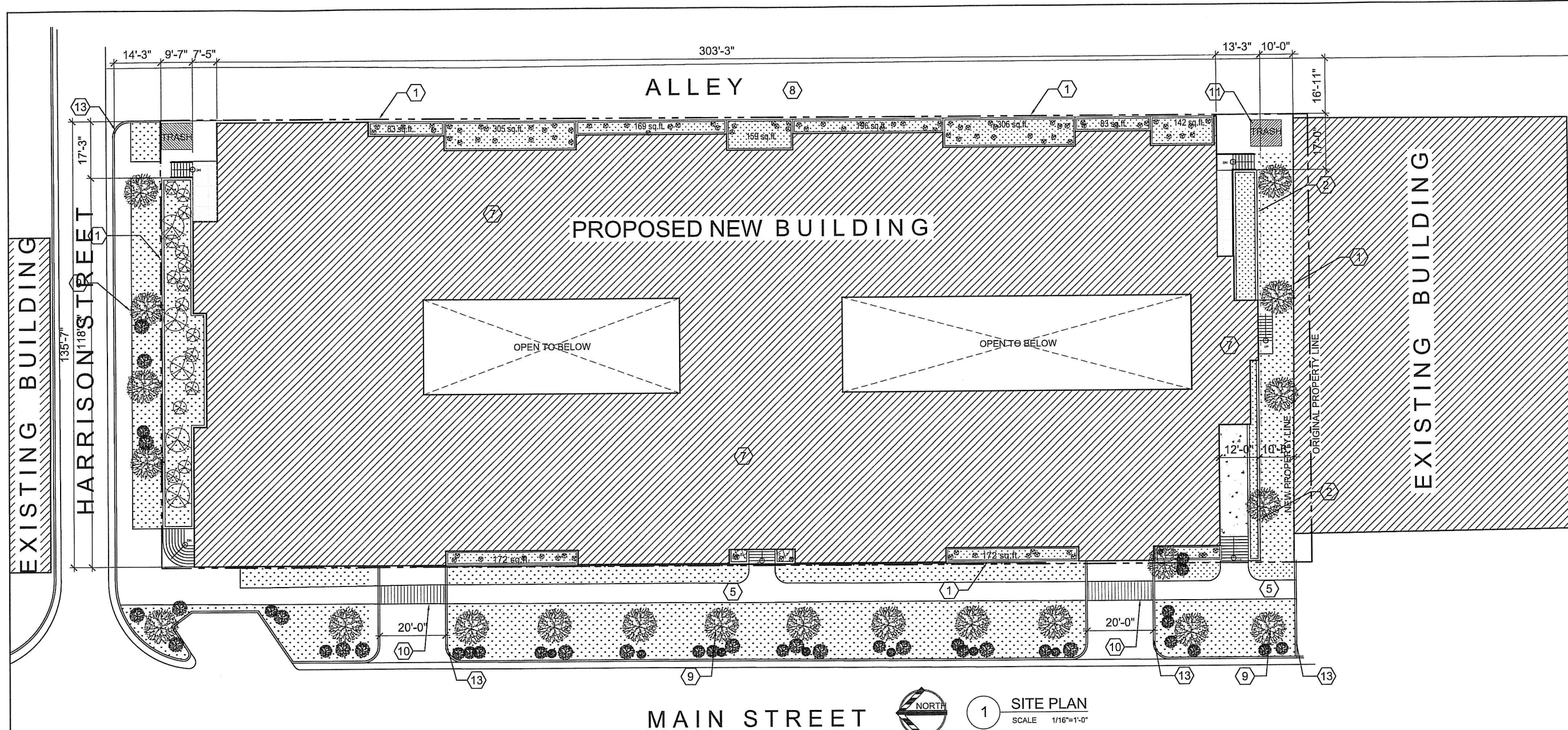
Findings: The amendment complies or can comply with all applicable laws and regulations provided that all Salt Lake City Departmental comments are met.

F. The amendment does not materially injure the public or any person and there is good cause for the amendment. (Ord. 7-99 § 23, 1999)

Analysis: It is not anticipated the proposed development will materially injure the public or any person. There is good cause for the amendment as the proposed condominium will help to revitalize the area and provide more housing for the City.

Finding: It is not anticipated that the proposed development will materially injure the public or any person and there is good cause for the amendment.

Exhibit A
Site Plan and Building Elevations



1 SITE PLAN
SCALE 1/16"=1'-0"

MAIN STREET

SQUARE FOOTAGE COMPUTATION

BUILDING AREA				MAIN FLOOR LEVEL			SECOND FLOOR LEVEL			THIRD FLOOR LEVEL					
FOOTPRINT SQUARE FOOTAGE	47,383 sq.ft.			COMMON SPACES	(/sq.ft.)	TOTAL	COMMON SPACES	AREA (/sq.ft.)	TOTAL	COMMON SPACES	AREA (/sq.ft.)	TOTAL			
FLOOR AREA	TOTAL			STAIRS	179 sq.ft.	537 sq.ft.	STAIRS	179 sq.ft.	537 sq.ft.	STAIRS	179 sq.ft.	537 sq.ft.			
PARKING LEVEL	45,313 sq.ft.			ELEVATOR	68 sq.ft.	68 sq.ft.	ELEVATOR	68 sq.ft.	68 sq.ft.	ELEVATOR	68 sq.ft.	68 sq.ft.			
MAIN FLOOR LEVEL	39,802 sq.ft.			HALLWAY	7,074 sq.ft.	7,074 sq.ft.	ELEV. EQUIPT. STORAGE	44 sq.ft.	44 sq.ft.	STORAGE	115 sq.ft.	115 sq.ft.			
SECOND FLOOR LEVEL	34,892 sq.ft.			GYM	900 sq.ft.	900 sq.ft.	STORAGE	748 sq.ft.	748 sq.ft.	HALLWAY	6,233 sq.ft.	6,233 sq.ft.			
THIRD FLOOR LEVEL	33,175 sq.ft.			COMMON ROOM	1,024 sq.ft.	1,024 sq.ft.	HALLWAY	6,031 sq.ft.	6,031 sq.ft.						
				STORAGE ROOMS	1,293 sq.ft.	1,293 sq.ft.	ROOF GARDEN	1,942 sq.ft.	1,942 sq.ft.						
				HUT TUB AREA	1,310 sq.ft.	1,310 sq.ft.									
				KIDS' / DOGS' PLAYGROUND	2,101 sq.ft.	2,101 sq.ft.									
				EXTERIOR LANDSCAPE	4,597 sq.ft.	4,597 sq.ft.									
TOTAL BUILDING AREA	153,182 sq.ft.			TOTAL COMMON AREA	18,367 sq.ft.			TOTAL AREA	9,370 sq.ft.			TOTAL AREA	6,953 sq.ft.		
PARKING LEVEL				TOTAL COMMON AREA			TOTAL AREA			TOTAL AREA					
COMMON SPACES	NO OF UNITS	AREA (/sq.ft.)	TOTAL	UNIT	UNIT TYPE	NO OF UNITS	AREA (/sq.ft.)	TOTAL	UNIT	UNIT TYPE	NO OF UNITS	AREA (/sq.ft.)	TOTAL		
STAIRS	3	179 sq.ft.	537 sq.ft.	1B	1 BEDROOM	10	700 sq.ft.	7,000 sq.ft.	1B	1 BEDROOM	11	700 sq.ft.	7,700 sq.ft.		
ELEVATOR	1	68 sq.ft.	68 sq.ft.	1B2	1 BEDROOM	2	700 sq.ft.	1,400 sq.ft.	1B2	1 BEDROOM	2	700 sq.ft.	1,400 sq.ft.		
ELEV. EQUIPT. STORAGE 1	1	80 sq.ft.	80 sq.ft.	1B6	1 BEDROOM	2	992 sq.ft.	1,984 sq.ft.	1B6	1 BEDROOM	2	992 sq.ft.	1,984 sq.ft.		
ELEV. EQUIPT. STORAGE 2	1	71 sq.ft.	71 sq.ft.	2B	2 BEDROOMS	11	1,038 sq.ft.	11,418 sq.ft.	2B	2 BEDROOMS	11	1,038 sq.ft.	11,418 sq.ft.		
STORAGE ROOMS	29	46 sq.ft./unit	1,334 sq.ft.	2B3	2 BEDROOMS	1	1,097 sq.ft.	1,097 sq.ft.	2B3	2 BEDROOMS	1	1,097 sq.ft.	1,097 sq.ft.		
HALLWAYS & DRIVEWAYS			27,187 sq.ft.	3B	3 BEDROOMS	1	1,312 sq.ft.	1,312 sq.ft.	3B	3 BEDROOMS	1	1,312 sq.ft.	1,312 sq.ft.		
PARKING SPACE AREA			16,036 sq.ft.	3B1	3 BEDROOMS	1	1,311 sq.ft.	1,311 sq.ft.	3B1	3 BEDROOMS	1	1,311 sq.ft.	1,311 sq.ft.		
TOTAL PARKING LEVEL AREA			45,313 sq.ft.	OVERALL UNITS	24	AREA	21,435 sq.ft.	21,435 sq.ft.	OVERALL UNITS	27	AREA	25,522 sq.ft.	25,522 sq.ft.		
				TOTAL MAIN LEVEL FLOOR AREA			39,802 sq.ft.	39,802 sq.ft.	TOTAL SECOND LEVEL FLOOR AREA			34,892 sq.ft.	34,892 sq.ft.		
				TOTAL SECOND LEVEL FLOOR AREA					TOTAL THIRD LEVEL FLOOR AREA			33,175 sq.ft.	33,175 sq.ft.		

PARKING REQUIREMENTS:
 PARKING STALL REQUIRED = 120 STALLS
 PARKING STALL PROVIDED = 120 STALLS
 HANDICAP STALLS = 5 STALLS
 BIKE PARKING = 5% = 6 BIKE PARKING

(42) 1 BEDROOM UNITS = 42 STALLS
 (34) 2 BEDROOM UNITS = 68 STALLS
 (05) 3 BEDROOM UNITS = 10 STALLS
 81 UNITS = 120 STALLS

LANDSCAPE REQUIREMENTS:
 TOTAL THIRD LEVEL 33,175 sq.ft.
 10% ADDITIONAL LANDSCAPE 3,318 sq.ft.
 ADDITIONAL EXTERIOR LANDSCAPE PROVIDED 3,359.41 sq.ft.

GENERAL NOTES

- CONSTRUCT ALL SCORE JOINTS FROM THE ARCHITECTURAL SITE PLAN (SHEET A100). SCORE JOINTS SHOWN ON THE CIVIL DWGS. ARE FOR REFERENCE ONLY.
- CONTRACTOR SHALL REVIEW ALL EXPANSION JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- INSTALL EXPANSION JOINTS @ 30'-0" O.C. MAX. THROUGHOUT.
- SCORE JOINTS IN PAVING ARE TO MATCH THE PAVING WIDTH TYPICAL, UNLESS NOTED OR SHOWN OTHERWISE.
- CONTRACTOR SHALL STAKE THE LAYOUT OF THE INTERMITTENT STONE PATHS AS WELL AS THE MEANDERING SIDEWALK ALONG THE PERIMETER OF THE SITE FOR APPROVAL BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- COORDINATE ALL SITE LIGHTING FIXTURE LOCATIONS WITH THE LANDSCAPE DRAWINGS. ALL SUCH LIGHTING SHALL BE STAKED FOR APPROVAL BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY ITEMS OR UTILITIES NOT NOTED TO BE REMOVED AND SHALL BEAR THE COST OF REPAIR TO ORIGINAL CONDITION.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT NOTED TO BE REMOVED AND REPAIR TO EXISTING CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONSTRUCTION OPERATIONS SHALL NOT INTERFERE WITH OPERATIONS OF OR ACCESS TO THE FACILITY NOR RESTRICT ACCESS ON THE PUBLIC R.O.W. TEMPORARY ENTRY CLOSURE TO BE APPROVED IN WRITING BY THE OWNER AND LOCAL JURISDICTION. COORDINATE ALL DEMOLITION WORK AND TIMES WITH THE OWNER.

- STOCKPILE TOPSOIL FROM AFFECTED AREAS FOR RE-INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING AN ADEQUATE AMOUNT OF TOPSOIL TO COMPLETE LANDSCAPE OPERATIONS OR FOR PROVIDING THE SAME AS A PART OF THIS CONTRACT.
- THIS CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING PLANT MATERIAL AND LANDSCAPING NOT SHOWN TO BE REMOVED. INSTALL A TEMPORARY FENCE AROUND THE DRIP LINE OF ALL TREES WHEN REQUIRED.
- MAINTAIN AND PROTECT AS MUCH OF THE EXISTING IRRIGATION SYSTEM AS POSSIBLE AND FEASIBLE AND STILL PROVIDE FOR FULL COVERAGE OF THE ENTIRE AREA. KEEP ALL LAWN AREA HEADS ON A SEPARATE CIRCUIT FROM SHRUB AREA HEADS.
- THE EXISTING IRRIGATION SYSTEM TO REMAIN IN USE SHALL BE PATCHED AND REPAIRED AS NECESSARY. MAINTAIN OPERATION OF THE EXISTING SYSTEM AS REQUIRED TO PROTECT EXISTING PLANT MATERIAL.
- SEE MECHANICAL ENGINEER DRAWINGS FOR THE EXTENT AND DETAILING OF THE SNOW MELT SYSTEM.

KEYNOTES

- ① PROPERTY LINE
- ② SETBACK LINE
- ③ NOT USED
- ④ NOT USED
- ⑤ SIDE WALK
- ⑥ NOT USED
- ⑦ PROPOSED CONDOMINIUM
- ⑧ ALLEY
- ⑨ NEW TREE
- ⑩ PROPOSED RAMP FOR UNDERGROUND PARKING
- ⑪ PROPOSED TRASH LOCATION
- ⑫ NOT USED
- ⑬ NEW CURB CUT

CENTRAL PARK CONDOMINIUMS
 COR. HARRISON AVE. AND S. MAIN ST.
 SALT LAKE CITY, UTAH

lloyd e. platt
 associates
 architects
 4645 HIGHLAND DRIVE
 HOLLADAY, UTAH 84117
 801-272-9065

DATE: _____

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE
 SITE PLAN

SHEET NUMBER
 A100

REFERENCE NOTE:

- (10) PROPOSED TRASH LOCATION
- (11) BIKE RACK
- (12) ORIGINAL PROPERTY LINE
- (13) PROPOSED NEW PROPERTY LINE
- (14) PROPERTY SETBACK
- (15) CHAINLINK FENCE
- (16) HANDICAP RAMP
- (17) PLANTER
- (18) FOUNTAIN

loyd e platt
associates
architects

4645 HIGHLAND DRIVE
HOLLADAY, UTAH 84117
801-272-9065

CENTRAL PARK CONDOMINIUMS
COR. HARRISON AVE. AND S. MAIN ST.
SALT LAKE CITY, UTAH

DATE:

REVISIONS:

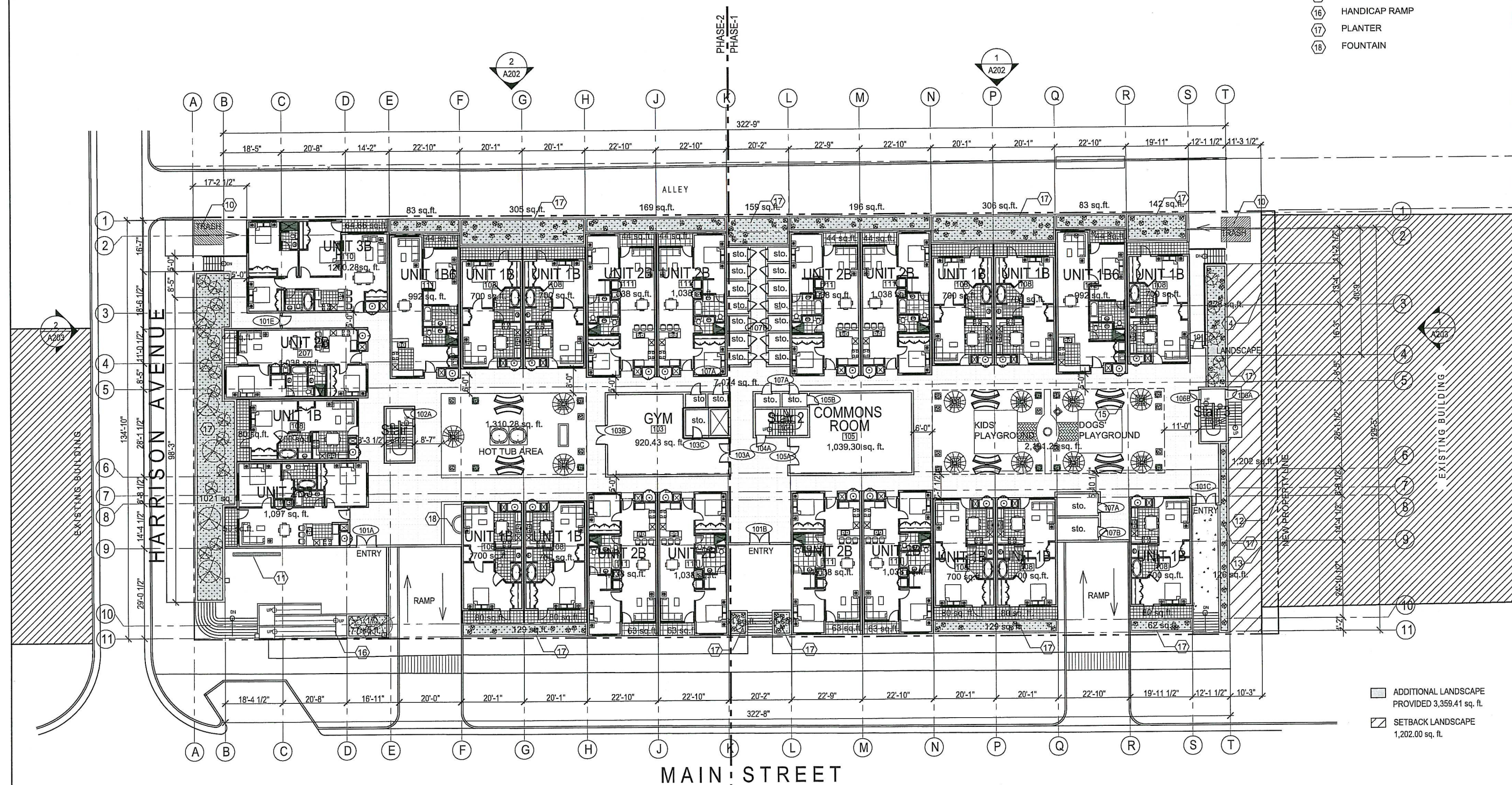
NO.	DATE	REVISIONS

SHEET TITLE

MAIN FLOOR PLAN

SHEET NUMBER

A102



□ ADDITIONAL LANDSCAPE PROVIDED 3,359.41 sq. ft.
▨ SETBACK LANDSCAPE 1,202.00 sq. ft.

TYPICAL MAIN FLOOR PLAN UNIT AREAS				
UNIT	UNIT TYPE	AREA (sq.ft.)	NO. OF UNITS	TOTAL AREA (sq.ft.)
1B	1 BEDROOM	700 sq.ft.	11 UNITS	7,700 sq.ft.
1B6	1 BEDROOM	992 sq.ft.	2 UNITS	1,984 sq.ft.
2B	2 BEDROOMS	1,038 sq.ft.	9 UNITS	9,342 sq.ft.
2B3	2 BEDROOMS	1,097 sq.ft.	1 UNIT	1,097 sq.ft.
3B	3 BEDROOMS	1,312 sq.ft.	1 UNIT	1,312 sq.ft.
TOTAL			24 UNITS	21,435 sq.ft.

1 MAIN FLOOR PLAN
SCALE 1/16"=1'-0"



CENTRAL PARK CONDOMINIUMS
 COR. HARRISON AVE. AND S. MAIN ST.
 SALT LAKE CITY, UTAH

DATE:

REVISIONS:

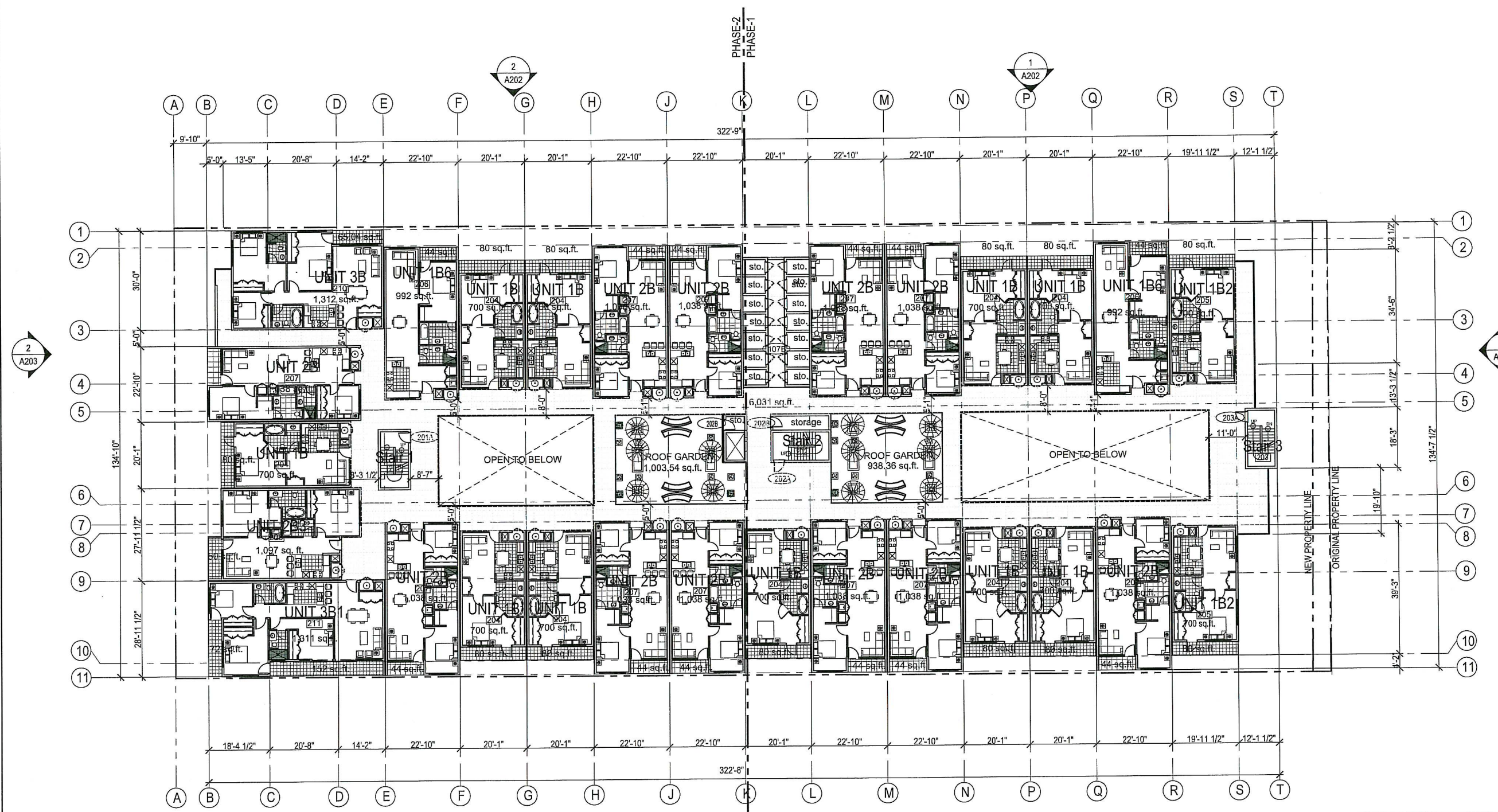
NO.	DATE	REVISIONS

SHEET TITLE

SECOND FLOOR PLAN

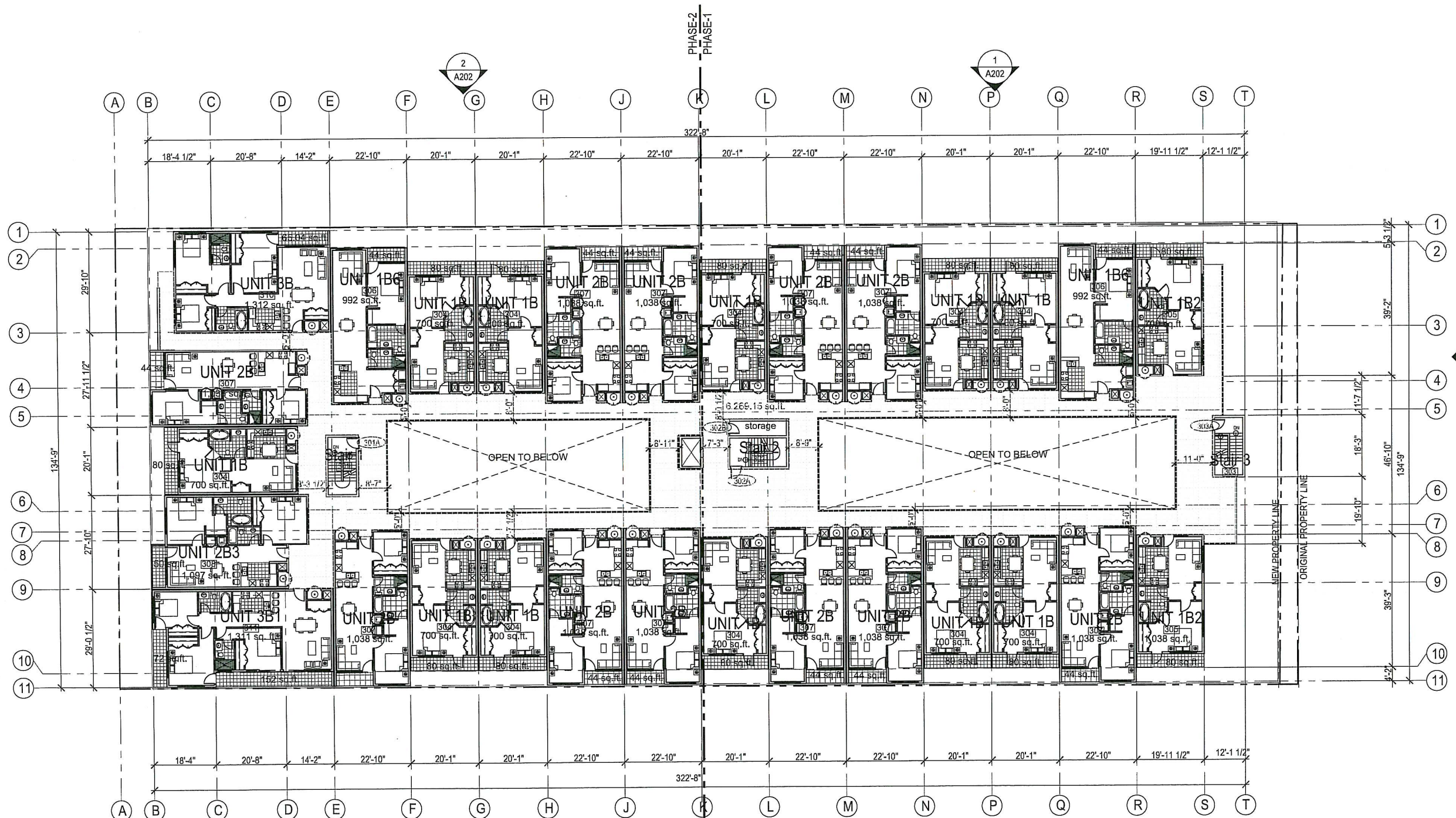
SHEET NUMBER

A103



1 SECOND FLOOR PLAN
 SCALE 1/16"=1'-0"

TYPICAL SECOND FLOOR PLAN UNIT AREAS				
UNIT	UNIT TYPE	AREA (sq.ft.)	NO. OF UNITS	TOTAL AREA (sq.ft.)
1B	1 BEDROOM	700 sq.ft.	10 UNITS	7,000 sq. ft.
1B2	1 BEDROOM	700 sq.ft.	2 UNITS	1,400 sq. ft.
1B6	1 BEDROOM	992 sq.ft.	2 UNITS	1,984 sq. ft.
2B	2 BEDROOM	1,038 sq.ft.	11 UNITS	11,418 sq. ft.
2B3	2 BEDROOMS	1,097 sq.ft.	1 UNIT	1,097 sq. ft.
3B	3 BEDROOMS	1,312 sq.ft.	1 UNIT	1,312 sq. ft.
3B1	3 BEDROOMS	1,311 sq.ft.	1 UNIT	1,311 sq. ft.
TOTAL			28 UNITS	25,522 sq. ft.



loyd e platt
associates
architects

4645 HIGHLAND DRIVE
HOLLADAY, UTAH 84117

801-272-9065

CENTRAL PARK CONDOMINIUMS
COR. HARRISON AVE. AND S. MAIN ST.
SALT LAKE CITY, UTAH

DATE:

REVISIONS:

NO	DATE	REVISIONS

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A104

TYPICAL THIRD FLOOR PLAN UNIT AREAS				
UNIT	UNIT TYPE	AREA (sq.ft.)	NO. OF UNITS	TOTAL AREA (sq.ft.)
1B	1 BEDROOM	700 sq.ft.	11 UNITS	7,700 sq.ft.
1B2	1 BEDROOM	700 sq.ft.	2 UNITS	1,400 sq.ft.
1B6	1 BEDROOM	992 sq.ft.	2 UNITS	1,984 sq.ft.
2B	2 BEDROOM	1,038 sq.ft.	11 UNITS	11,418 sq.ft.
2B3	2 BEDROOMS	1,097 sq.ft.	1 UNIT	1,097 sq.ft.
3B	3 BEDROOMS	1,312 sq.ft.	1 UNIT	1,312 sq.ft.
3B1	3 BEDROOMS	1,311 sq.ft.	1 UNIT	1,311 sq.ft.
TOTAL			29 UNITS	23,138.06 sq.ft.

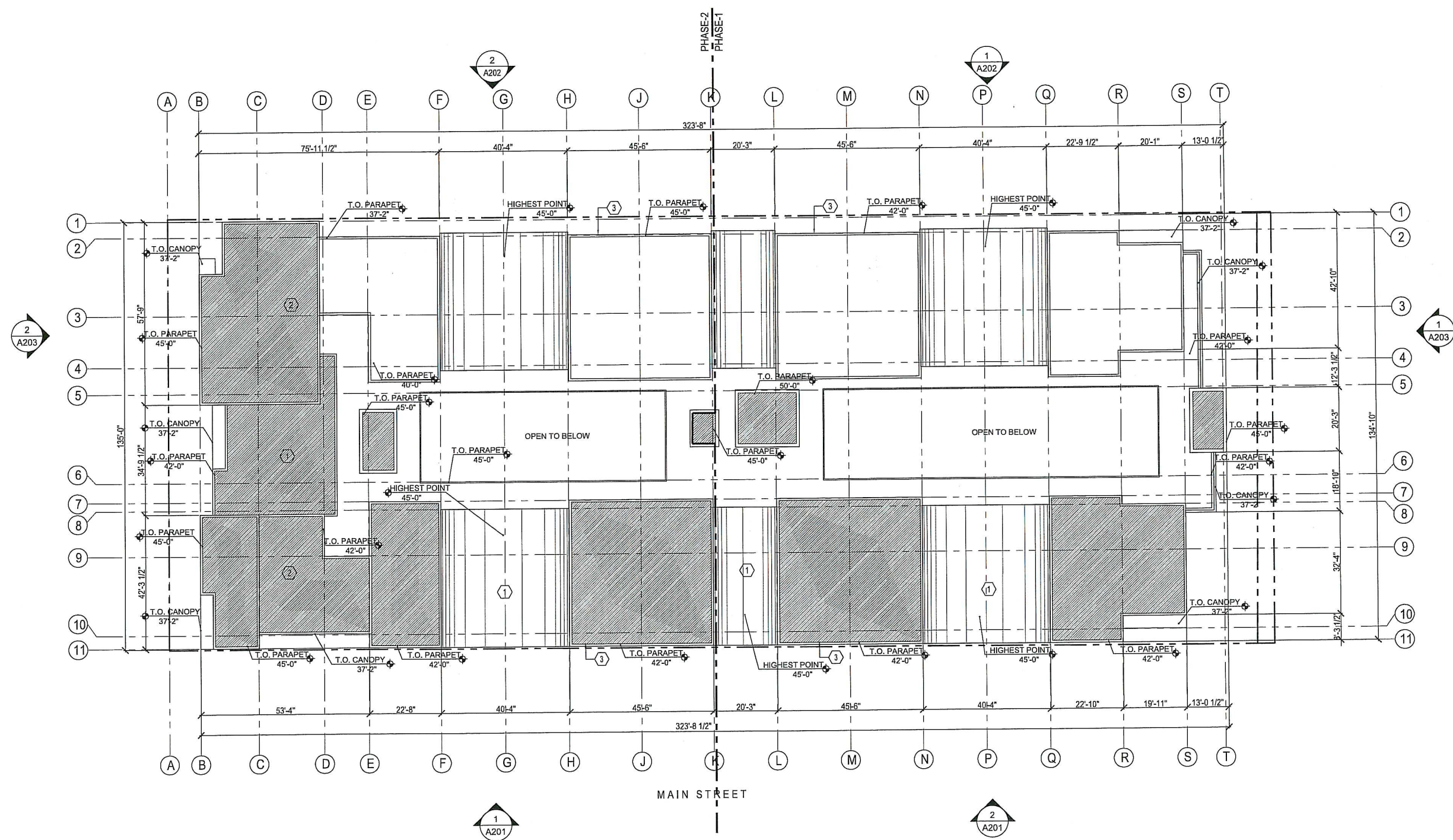


1 THIRD FLOOR PLAN
SCALE 1/16"=1'-0"



EXISTING BUILDING

- NOTES:
- ① STANDING SEAM METAL ROOM
 - ② SINGLE-PLY ROOF MEMBRANE
 - ③ METAL CAP FLASHING



loyd e. platt
associates
architects

4645 HIGHLAND DRIVE
HOLLADAY, UTAH 84117

801-272-9065

CENTRAL PARK CONDOMINIUMS
COR. HARRISON AVE. AND S. MAIN ST.
SALT LAKE CITY, UTAH

DATE:

REVISIONS:

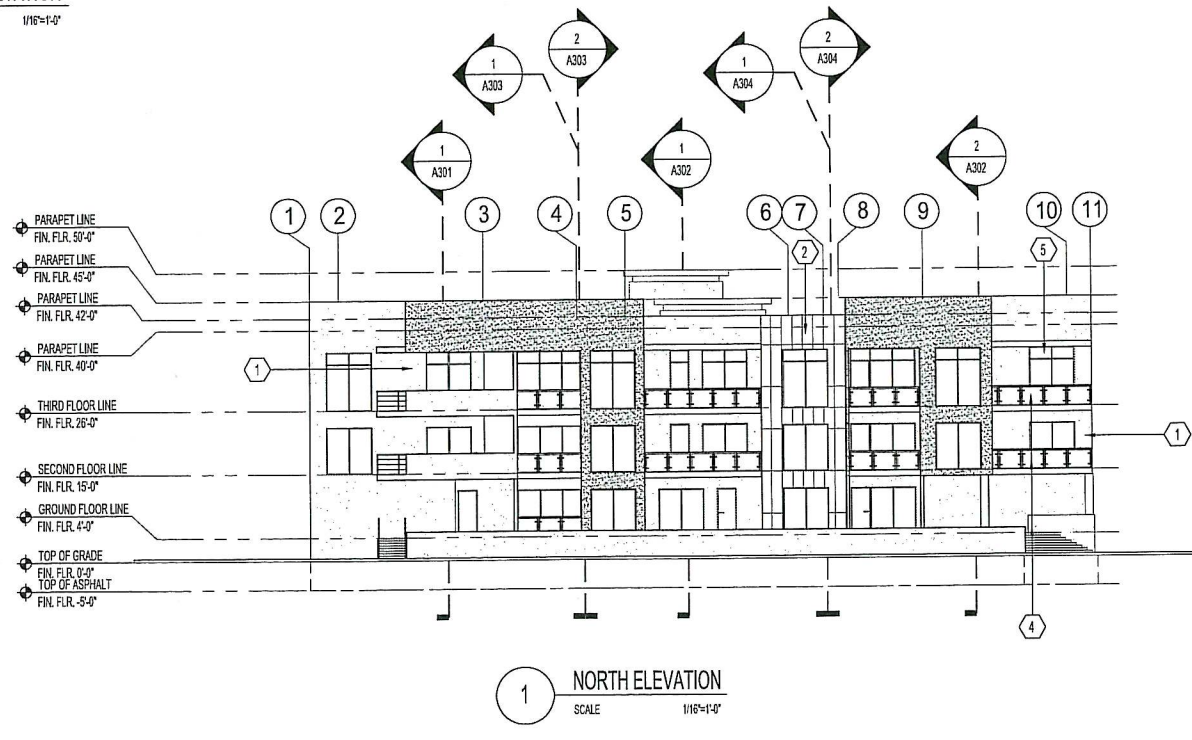
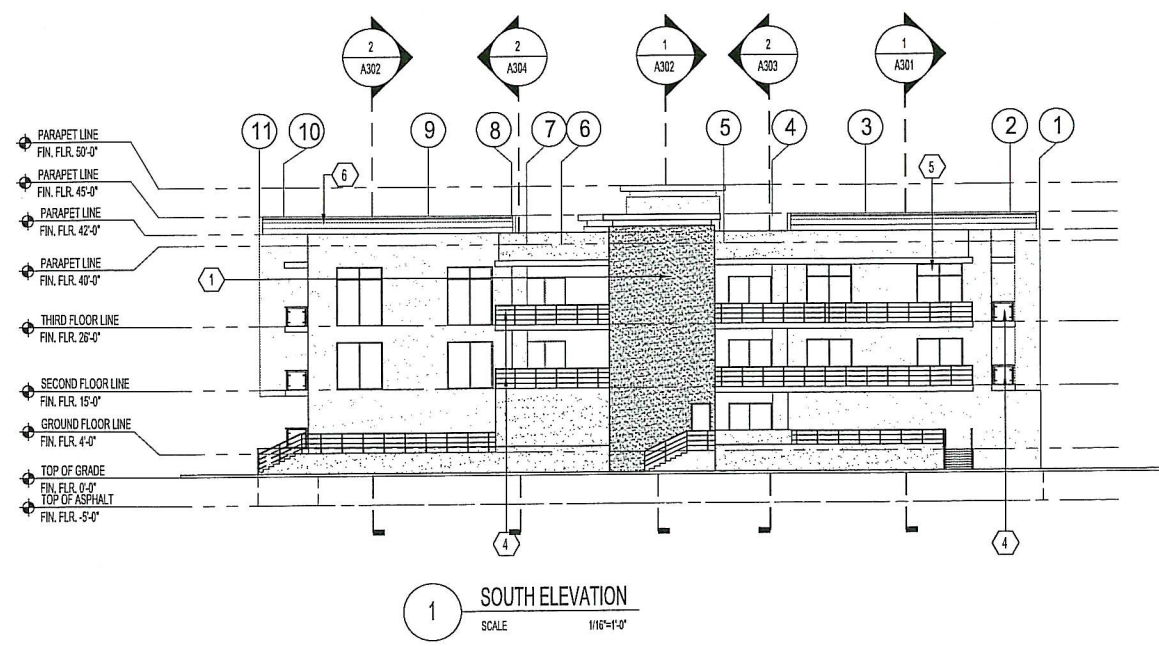
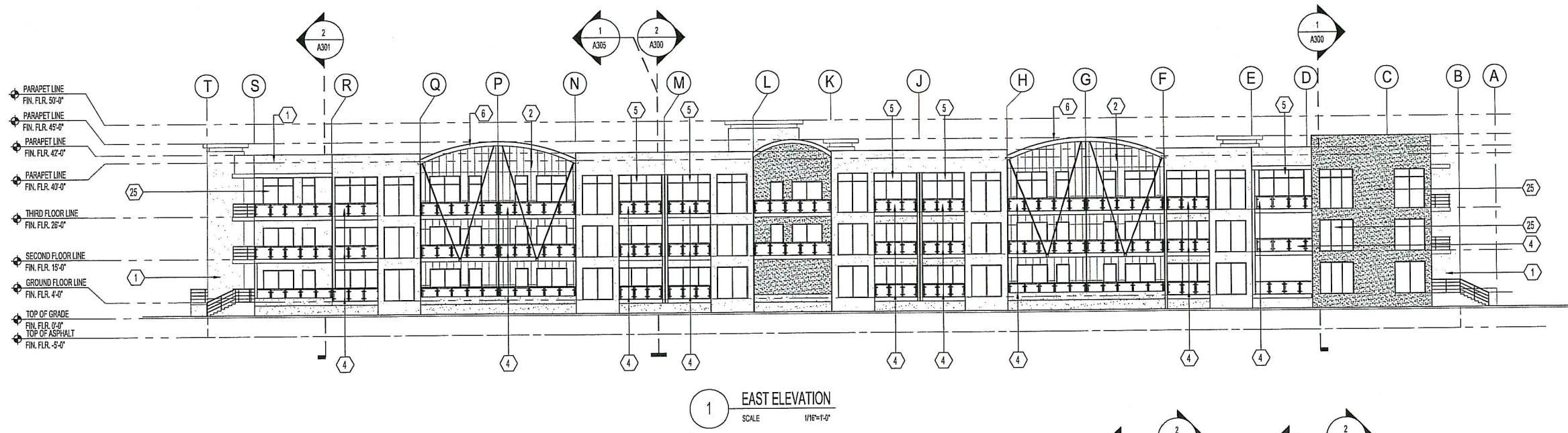
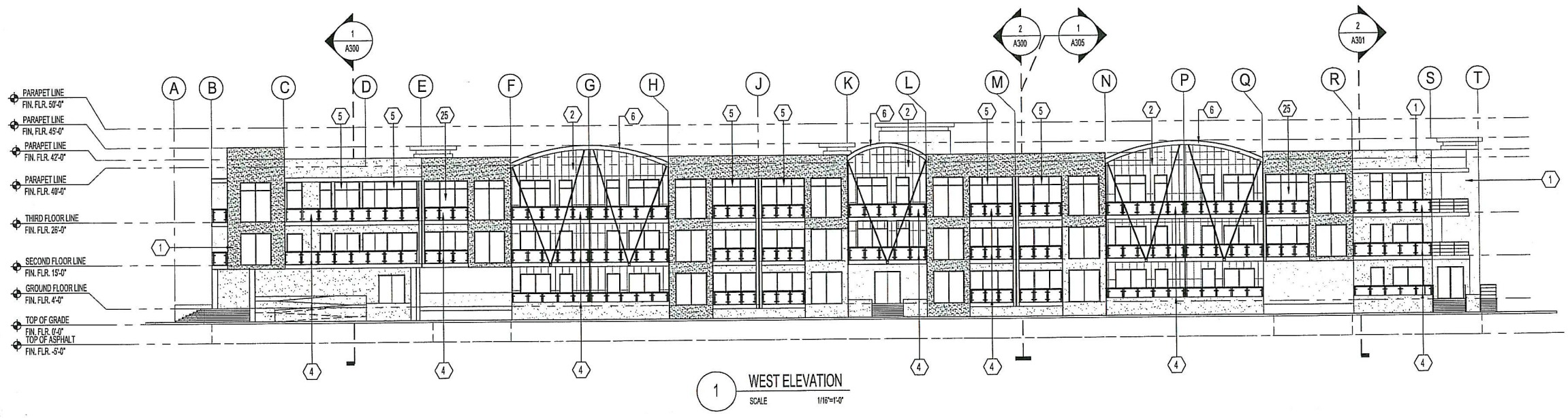
NO.	DATE	REVISIONS

SHEET TITLE
ROOF PLAN


SHEET NUMBER

A111

1 ROOF PLAN
A111 SCALE 1/16"=1'-0"



ELEVATION/SECTION KEY NOTES	
DESCRIPTION	
1	STUCCO
2	ALUMINUM METAL PANELS
3	STUCCO
4	GLASS PANEL RAILINGS
5	STOREFRONT WINDOWS
6	STANDING SEAM METAL ROOF
7	FINISH GRADE
8	FOOTINGS
9	FOUNDATION
10	5" CONC. SLAB GARAGE
11	4" CONC. SLAB BASEMENT
12	4" CONC. SLAB
13	8" CONC. WALL
14	SILL PLATE
15	2X6 INTERIOR STUD WALL
16	EXTERIOR WALL SYSTEM
17	3/4" TAG FLOOR SYSTEM
18	6"x8"x16" SPLIT FACE CMU COLOR BY ARCHITECT
19	TILE ROOF
20	FLASHINGS
21	ENCLOSED ATTIC
22	T&I JOIST
23	STAIRS
24	FIREPLACE
25	EXTERIOR WINDOWS (SEE WINDOW SCHEDULE)
26	ELEVATOR SHFT
27	INSULATION
28	SOUND INSULATION
29	ATTIC ACCESS HATCH
30	CORRUGATED MATERIALS
31	PAINT
32	PRE-FINISHED CONT. METAL CAP & CLEAT OVER (2)
33	2X4 PRE-TREATED WALKER
34	4" METAL RAILING - RE: DETAIL 16(A,B)
35	STUCCO RAILING
36	METAL CHAOPY
37	HANDRAILS
38	GUARDRAILS
39	2X4 FLOOR OUT STUD WALL
40	CMU WALL
41	ALUMINUM STORE FRONT
42	HAL DOOR
43	PARTY WALL
44	NOT USED
45	NOT USED


 lloyd e. platt
 associates
 architects

CENTRAL PARK CONDOMINIUMS
 COR. HARRISON AVE. AND S. MAIN ST.
 SALT LAKE CITY, UTAH

DATE: _____

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE
OVER ALL ELEVATIONS

SHEET NUMBER
A200

4645 HIGHLAND DRIVE
 HOLLADAY, UTAH 84117
 801-272-9065

Exhibit B
Department Comments

McCandless, Ray

TRANSPORTATION

From: Walsh, Barry
Sent: Wednesday, March 12, 2008 5:28 PM
To: McCandless, Ray
Cc: Young, Kevin; Barry, Michael; Drummond, Randy; Garcia, Peggy; Itchon, Edward; Butcher, Larry
Subject: Central park Condo
Categories: Program/Policy

March 12, 2008

Ray McCandless, Planning

Re: Central Park Condominiums Pet 410-07-40 at 1357-1381 South Main St.

The division of transportation review comments and recommendations are as follows;

Per our February 4, 2008 review letter ---

The conceptual condo proposal was reviewed at the 8/01/2007 DRT review meeting. Standard comments were made requesting parking calculations, ADA & van provisions, 5% bike parking, and proposed parking structure design submittals for review of column spacing, access ramps, circulations, and height clearances. Public way revision for removal of dead driveways, sidewalk replacement, ADA ramps, alley repairs, and street lighting were noted.

The Architectural plan sheet A102 has revised the ramp area to 28 feet from building face proposing to match the proposed Civil parking level ramps.

Sheet A100 notes parking calculations of 81 unit with 120 stalls required and provided, to include the 5 ADA stalls as well as the 5% bike provision, of 6 stalls.

Sheet A101 does not specify column or shear wall spacing, height clearance, and labels 121 Stalls with 5 ADA stalls and no bike rack shown.

The drawings submitted are still in the conceptual stage for full review comment.

Final review is subject to full Civil drawings to include public way and Architectural plan submittals.

Sincerely,

Barry Walsh

Cc Kevin Young, P.E.
Michael Barry, P.E.
Randy Drummond, P.E.
Peggy Garcia, Public Utilities
Ted Itchon, Fire
Larry Butcher, Permits
File.

3/13/2008

McCandless, Ray*Public Utilities*

From: Brown, Jason
Sent: Wednesday, March 12, 2008 11:50 AM
To: McCandless, Ray
Cc: Garcia, Peggy; Drummond, Randy; Walsh, Barry
Subject: Central Park Condominiums revised plans
Categories: Program/Policy

Ray,

Our previous comments still apply. The set of plans that were included in the submittal did not address any of the below comments. One additional comment that I see is that the developer will be required to extend the water main in Main Street from the northern property line to the southern property line and connect to the existing mains in two locations.

Jason

From: Brown, Jason
Sent: Friday, February 29, 2008 11:49 AM
To: McCandless, Ray
Cc: Garcia, Peggy; Drummond, Randy; Walsh, Barry
Subject: Petition #410-07-40 Central Park Condominiums conditional use permit

Ray,

Public Utilities has reviewed the above mention conditional use petition and offer the following comments;

For the conditional use we have no objection. However, there are several issues that will need to be resolved before we can give final approval of the construction drawings. Below is a list of items that will need to be addressed;

- All existing water meters must be used or killed at the main per SLC Public Utilities standards.
- The existing water main is shown on the wrong side of the road, it should be shown on the west side of main. The design engineer may contact Nick Kryger (483-6834) in our GIS department for water, sewer and storm drain main locations.
- A geotechnical report must be submitted to our office specifically addressing the highest expected ground water elevation in this area.
- all interior parking drains must be routed through a sand/oil separator and discharged to the sanitary sewer system.
- The proposed storm drain system must be shown on the plans. Culvert pipes at the drive approaches will not be accepted.
- Expected sewer and water discharge and usage rates must be submitted to our office for review. With this information Public Utilities will evaluate the existing system and determine if off site improvements will be necessary to support this development.
- Plumbing plans must be submitted to our office for review.
- all plans must be stamped by a licensed professional engineer.

This list is not meant to be all inclusive, it is a list of major items that will need to be address in subsequent submittals.

Jason Brown, PE

Development Review Engineer
Salt Lake City Public Utilities

3/13/2008

TO: RAY McCANDLESS, PLANNING DIVISION
FROM: RANDY DRUMMOND, P.E., ENGINEERING
DATE: FEB. 4, 2008
SUBJECT: **Central Park Condominiums**
1357-1381 South Main Street

Engineering review comments are as follows:

1. This is a project on 1.08 acres located at 1357-1381 South Main Street to create 83 new residential units in a three-story building. There are existing commercial buildings on the site, and we are assuming that they will all be demolished. There is an existing alley running along the entire east boundary of the site. All of the required right-of-way exists, and the street is fully improved. Inasmuch as the snow is covering the street and alley, it is not possible to tell if any of the existing curb, gutter and/or sidewalk on Main Street, or the asphalt on the alley will need to be replaced, at this time. This determination will be made at a later date, when the condition becomes apparent. Access to the parking area is from Main Street. There are three existing driveways to the site, and all are proposed to be replaced with the new construction. These driveways shall be constructed as per APWA Std. Dwg. #225, if the information supplied by the applicant's consultant shows that such access is possible. The consultant must provide sufficient cross-sections through each driveway to show that a vehicle will be able to navigate the entrance without 'high-centering' the vehicle. A piped drive approach (APWA Std. Dwg. #229) will be allowed only as a last resort to prevent vehicles from high-centering due to the steep cross slope in Main Street. All of the public way improvements shall be constructed by a licensed contractor via a Permit to Work in the Public Way.
2. A plat was not provided, and will be required. I have included a copy of the plat checklist for use by the applicant's consultant in preparing the plat.
3. A certified address for each unit will be required prior to building permit issuance, and should be placed on the plat. The address review will be noted on the plat when submitted.

cc: Brad Stewart
Barry Walsh
Scott Weiler
George Ott
Craig Smith
Vault

SALT LAKE CITY BUILDING SERVICES

Preliminary Zoning Review

Log Number: Nonlog

Date: March 13, 2008

Project Name: Central Park Condominiums

Project Address: 1357 – 1381 South Main Street

Contact Person: Ray McCandless

Fax Number: (801) 535-6174

Phone Number: (801) 535-7282

E-mail Address:

Zoning District: CC (SSSC Overlay)

Reviewer: Alan Hardman Phone: 535-7742

Comments

This preliminary zoning review summarizes the comments from a DRT meeting held on August 1, 2007.

1. Conditional Use Petition #410-07-40 approval required for additional height per 21A.26.050.F. Maximum building height approved as a conditional use may not exceed 45 feet or 3 stories. Approval also requires additional landscaping.
2. Combine four lots into one new lot per Planning Division approval.
3. Obtain a new certified address for the new lot from the city Engineering Division.
4. Structures located in the South State Street Corridor overlay are exempted from the front yard setback requirement **only**. This means there is no minimum setback along Harrison Avenue, the front yard. Since Main Street is the corner side yard, plans must show a 15 foot minimum building setback from property line (21A.34.090.D.1).
5. Document that the ground floor building elevations facing Harrison Avenue and Main Street have at least 25% non-reflective glass surfaces (21A.34.090.F.1).
6. The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the first floor level shall be 15 feet (21A.34.090.F.3).
7. All building equipment and service areas, including on grade transformers, must be screened (21A.34.090.F.4).
8. Dumpsters must be screened (21A.48.120).
9. Public Utilities approval required. Needs new 12" water main.
10. Transportation Division approval required for all parking and traffic-related issues, including the parking structure layout and the grades at the parking lot entrances.
11. Engineering Division approval required for all public way improvements, including the new driveway approaches. Engineering needs to inventory the existing public sidewalks, curbs and gutters to determine replacement of any defective areas.

Exhibit C
Applicant Letter

March 4, 2008

Attention:
Ray McCandless
Salt Lake City Planning Division
451 South State Street, Room 406
PO Box 145480
Salt Lake City, Utah 84114-5480

Dear Mr. Ray McCandless:

We tried to apply the comments of the Planning Commission Subcommittee regarding the individual entrances to the Main level units. We were not able to accomplish that because we had to go up a minimum of 4'-0" to each unit; and since the building has not setback the extrusion of stairs will eliminate most of the parking against main Street and Harrison Ave. Instead of having an entry to each unit on the main floor we have added a centered entry along Main Street.

Regarding the issue of the overhead and personal doors to the building located south of our property, the owner does not feel the obligation of providing access from his property side. The owner has stated that we should just design the site plan according to our own needs and he is expecting the neighbor to accommodate to that. The owner is worry that if any kind of access is provided from his property side he could run on some type of liability issue that will make him responsible.

Our civil engineer has spoken with Barry Walsh and parking ramps have been approved as shown on civil drawings. I have attached an e-mail reply from Barry Walsh stating his comments.

I hope this information is helpful and appreciate your comments.

Sincerely,

Karilyn Anderson
Project Manager
Lloyd Platt Architects.

Exhibit D
Site Photographs



OVERHEAD & EXTERIOR DOORS - BUILDING SOUTH OF THE PROPOSED DEVELOPMENT



ALLEY AND NON CONFORMING SINGLE FAMILY DWELLINGS



HARRISON LOBBING WEST